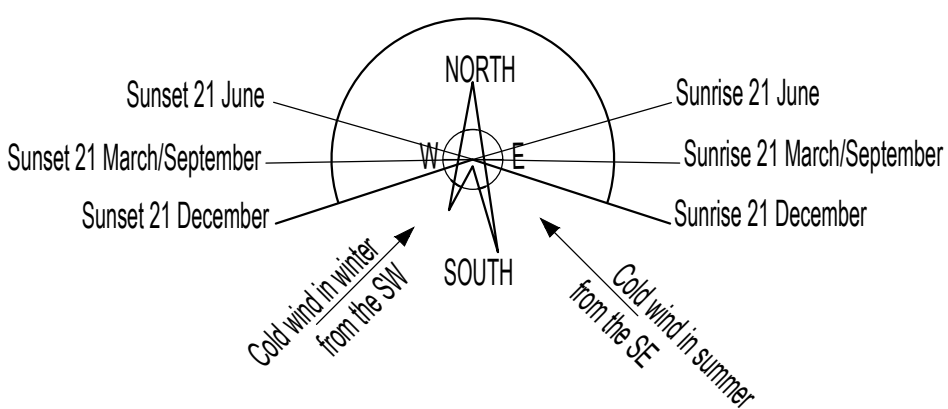




AREAS

CHALET 01 - MAIN BEDROOM	
Area within walls	48.00m ²
Covered Deck	33.80m ²
Open Deck	18.40m ²
Chalet Coverage	80.70m ²
CHALET 02 - 2 BEDROOMS SHARING BATH	
Area within walls	44.00m ²
Covered Deck	32.70m ²
Open Deck	18.40m ²
Chalet Coverage	77.00m ²
CHALET 03 - 2 BEDROOMS, EACH WITH ENSUITE	
Area within walls	51.70m ²
Covered Deck	27.00m ²
Open Deck	18.40m ²
Chalet Coverage	79.00m ²
CHALET 04 - 3 BEDROOMS, 2 SHARING BATH, 1 WITH ENSUITE	
Area within walls	58.00m ²
Covered Deck	40.00m ²
Open Deck	18.40m ²
Chalet Coverage	78.00m ²
CHALET 05 - 3 BEDROOMS, EACH WITH ENSUITE	
Area within walls	61.00m ²
Covered Deck	43.00m ²
Open Deck	18.40m ²
Chalet Coverage	104.60m ²
CHALET 06 - KITCHEN, DINING & LOUNGE	
Area within walls	42.70m ²
Covered Deck	29.10m ²
Open Deck	18.40m ²
Chalet Coverage	72.00m ²
GARAGE	
Area within walls	33.00m ²
Site Area	99079.46m ²
Foot print	1172.00m ²
Coverage percentage	1.2%

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All measurements shown on the plans must be set out horizontally.

All dimensions and heights to be checked on site prior to construction - in the case of alterations or additions heights should match that of the existing work unless otherwise shown.

Profile columns at 85mm can be used for all masonry work. Discuss any discrepancies with the Architect immediately.

All external ground works surrounding the building to be restored after construction.

All external ground works surrounding the building to be restored after construction.

All products and materials specified must be applied and used to the Manufacturer's specifications.

All work as per the National Building Regulations, SANS 10400 and other applicable SANS Codes.

All electrical work s to be undertaken in accordance with the OHS Act

Electrical Installation Regulations - EIR (2009).

Particular attention must be given to Reg. 5(6), which requires, in the case of flats, townhouse complexes and sectional title apartments, for the user (i.e. the owner) to appoint an AIA or "competent person" to ensure compliance with the OHS Act from commencement to commissioning.

The Electrical Certificate of Compliance will not be valid if this process is not followed.

No.	Revision Made	Date

PROJECT
NEW CHALETS

PROJECT SITE
PORTION 104 of FARM UITZIGT NO: 216
NEW BUNGALOWS
C. J. Langenhoven Road, Knysna

PROJECT NUMBER	24.31
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PROJECT STAGE	CONCEPT (Stage 3)
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DRAWING TITLE
MASTER SITE PLAN

DRAWING NUMBER 24.31.S3.1-1	REVISION .
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SCALE	1:1000 @ A1	1:2000 @ A3
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DATE 08.09.2026

CLIENT Lovemore Family

AUTHOR	CHECKED
L. M.	T. M. B.

ENGINEER

FLOOR AREAS

Existing Building	263.71m ²
Existing Burnt Garages	101.03m ²
Total Kitchen Chalets Coverage	360.00m ²
Total Bedroom Chalets Coverage	395.00m ²
Site Area	99079.46m ²
Foot print	1119.74m ²
Coverage percentage	0.9%

OWNER'S SIGNATURE _____



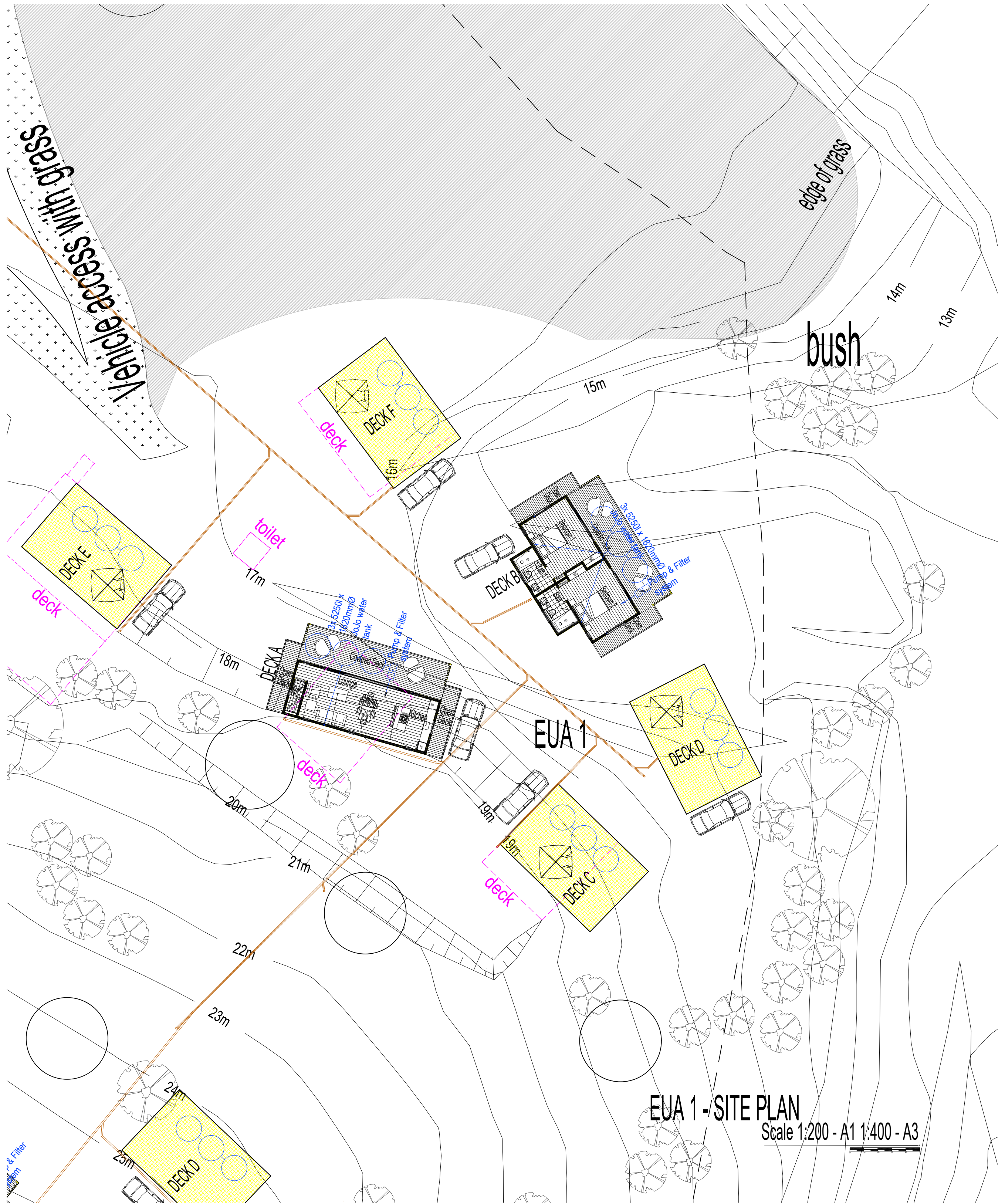
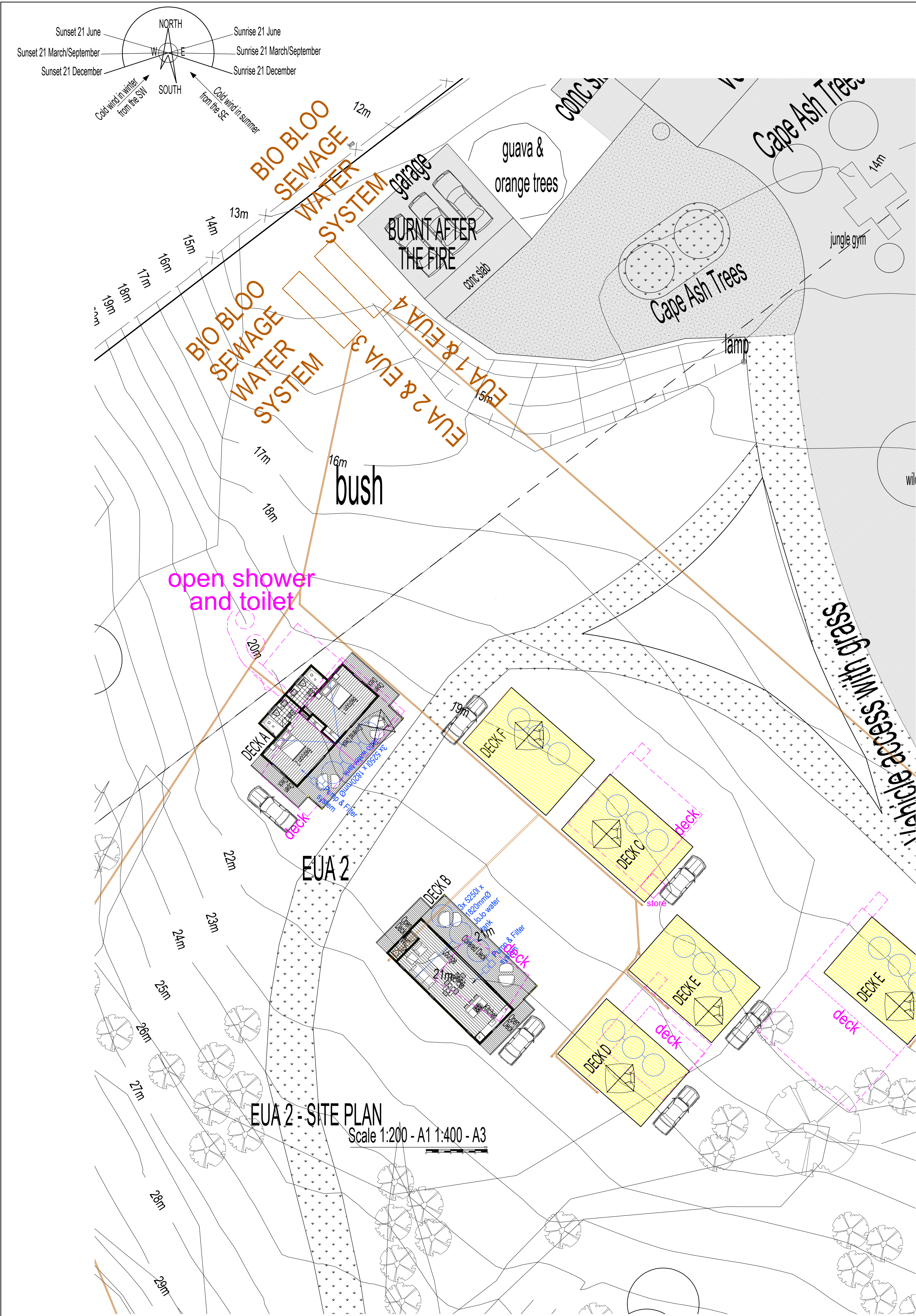
ARCHITECT'S SIGNATURE

Tracey Mills-Brink
PR.ARCH 5765

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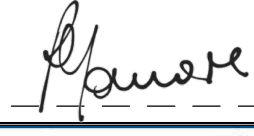
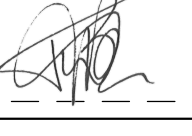
TRACEY MILLS BRINK
T M B A
ARCHITECTS

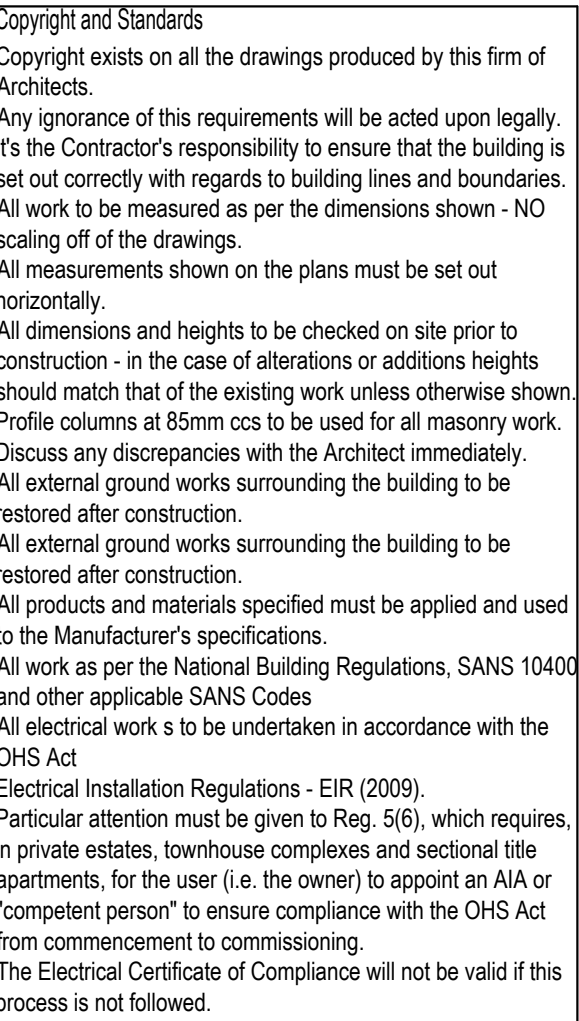
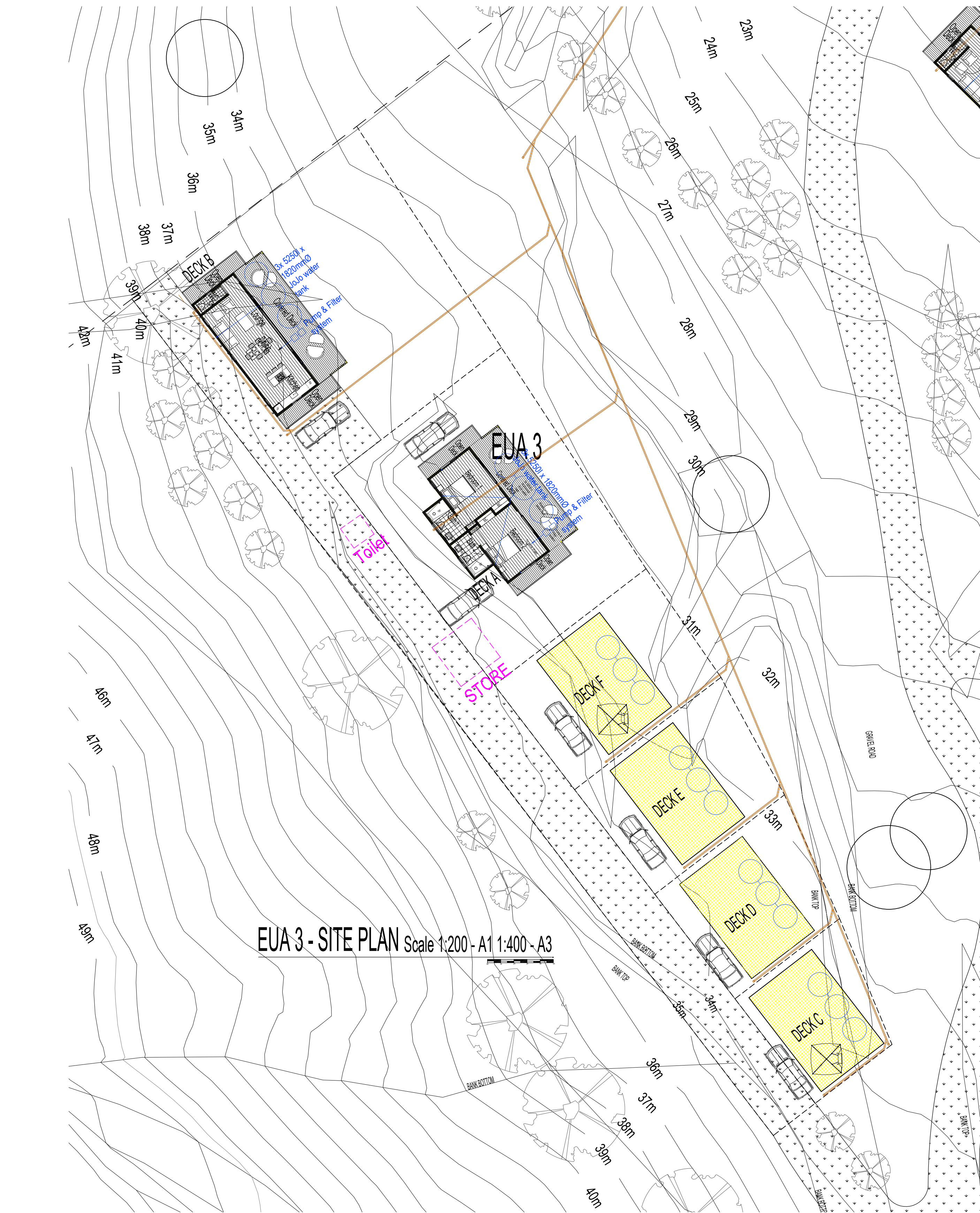
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No.	Revision Made	Date

PROJECT NEW CHALETs	
PROJECT SITE PORTION 104 of FARM UITZIGT NO: 216 NEW BUNGALOWS C. J. Langenhoven Road, Knysna	
PROJECT NUMBER 24.31	
PROJECT STAGE CONCEPT (Stage 3)	
DRAWING TITLE SITE PLAN - EUA 1 & EUA 2	
DRAWING NUMBER 24.31.S3.1-2	REVISION
SCALE 1:200 @ A1 1:400 @ A3	
DATE 08.09.2026	
CLIENT Lovemore Family	
AUTHOR L. M.	CHECKED T. M. B.
ENGINEER	
FLOOR AREAS	
Existing Building	263.71m ²
Existing Burnt Garages	101.03m ²
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Total Bedroom Chalets Coverage	395.00m ²
Site Area	99079.46m ²
Foot print	1119.74m ²
Coverage percentage	0.9%
OWNER'S SIGNATURE 	
PROFESSIONAL ARCHITECT TRACEY MILLS BRINK 14.08.2024 PM (John van der Merwe) on 14.08.2024	
ARCHITECT'S SIGNATURE Tracey Mills-Brink PR/ARCH/5765 	
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PROJECT	
NEW CHALETs	
PROJECT SITE	
PORTION 104 of FARM UITZIGT NO: 216	
NEW BUNGALOWS	
C. J. Langenhoven Road, Knysna	
PROJECT NUMBER	
24.31	
PROJECT STAGE	
CONCEPT (Stage 3)	
DRAWING TITLE	
SITE PLAN - EUA 3 & EUA 4	
DRAWING NUMBER	REVISION
24.31.S3.1-3	.
SCALE	
1:200 @ A1	1:400 @ A3
DATE	
08.09.2026	
CLIENT	
Lovemore Family	
AUTHOR	CHECKED
L. M.	T. M. B.
ENGINEER	

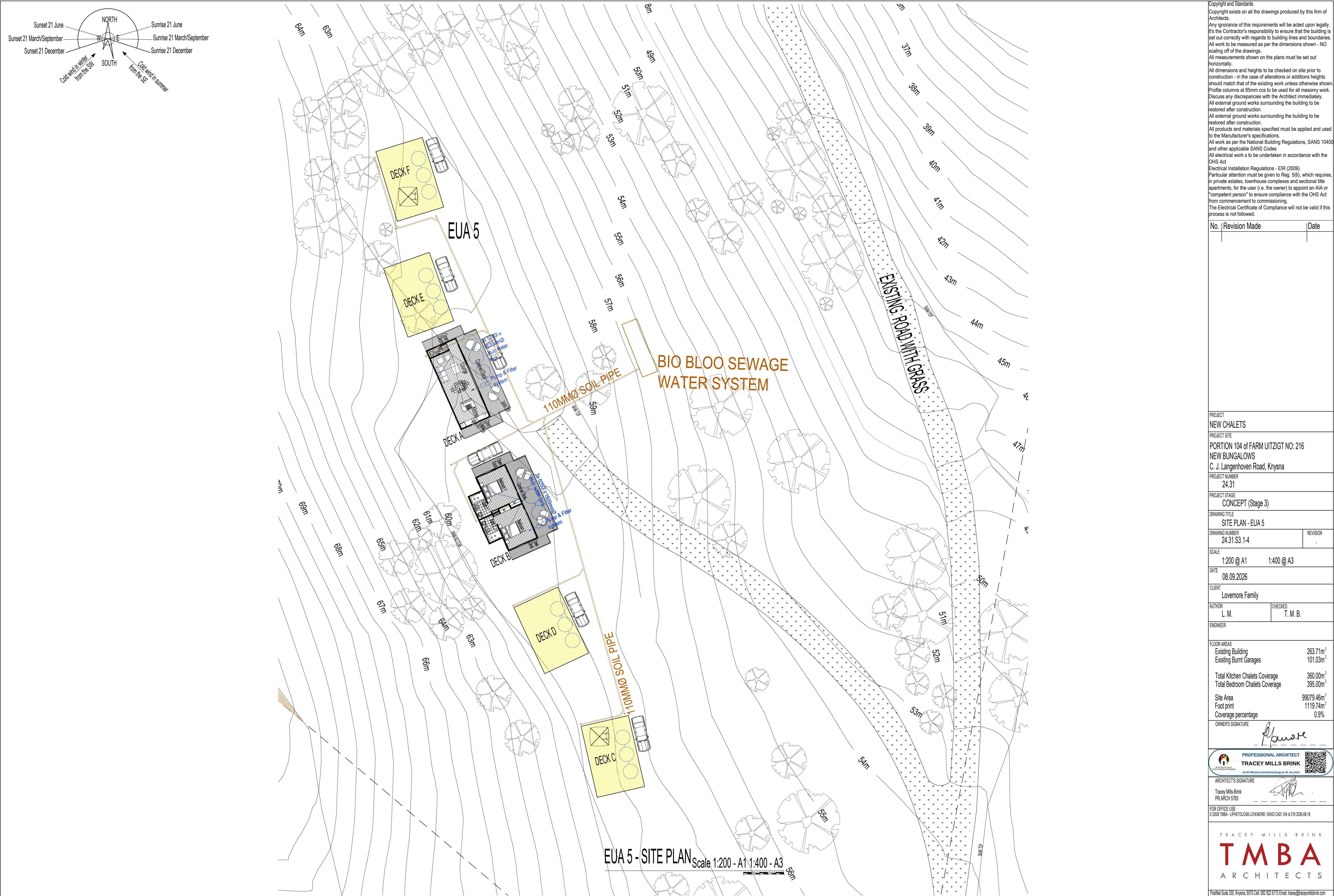
OWNER'S SIGNATURE _____

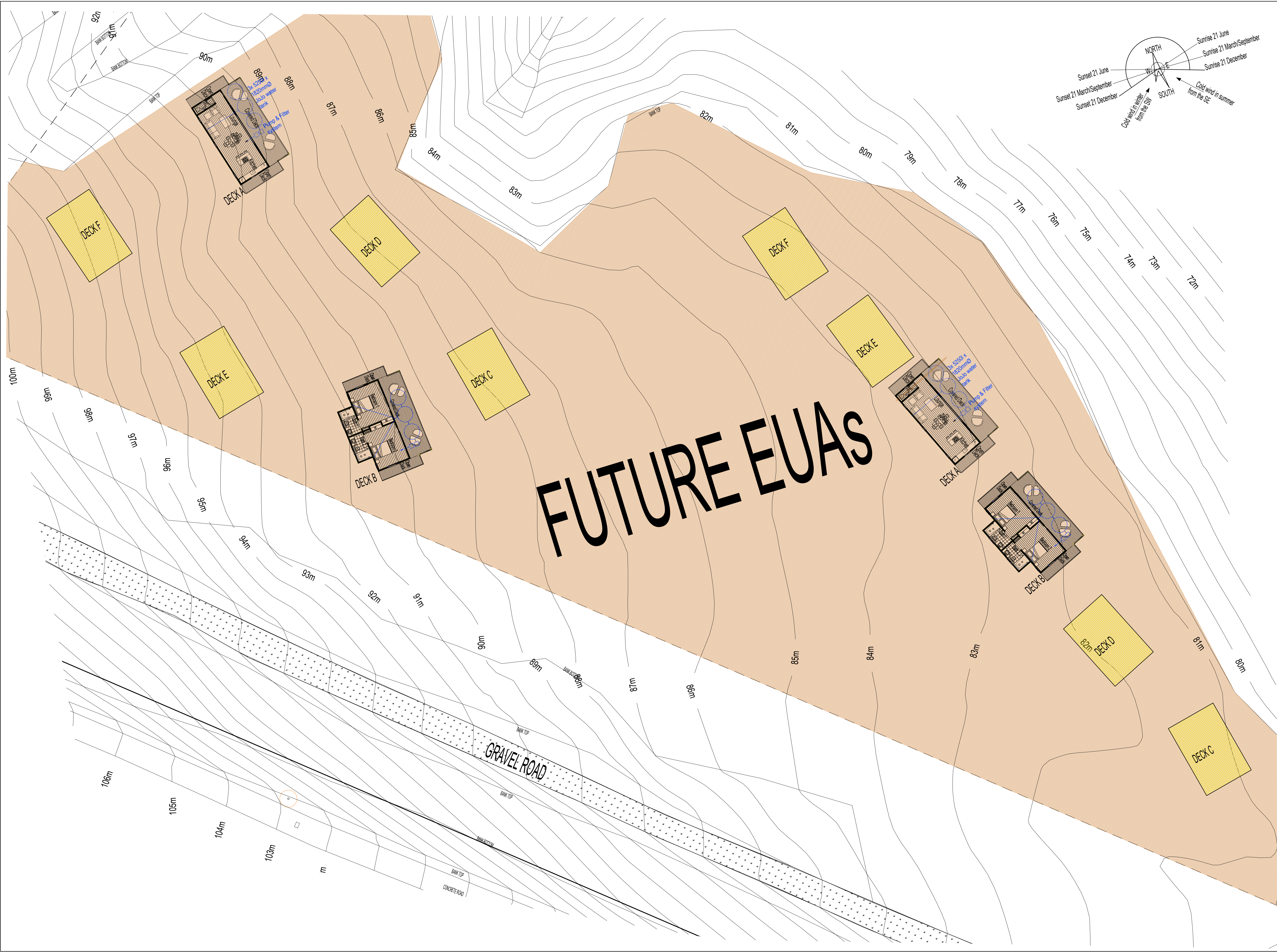
[Signature]



TRACEY MILLS BRINK
T M B A
ARCHITECTS

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No.	Revision Made	Date

PROJECT
NEW CHALETs

PROJECT SITE
PORTION 104 of FARM UITZIGT NO: 216
NEW BUNGALOWS
C. J. Langenhoven Road, Knysna

PROJECT NUMBER
24.31

PROJECT STAGE
CONCEPT (Stage 3)

DRAWING TITLE
SITE PLAN - FUTURE EUAS

DRAWING NUMBER	REVISION
24.31.S3.1-4B	

SCALE
1:200 @ A1 1:400 @ A3

DATE
08.09.2026

CLIENT
Lovemore Family

AUTHOR	CHECKED
L. M.	T. M. B.

ENGINEER

FLOOR AREAS	
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Site Area	99079.46m ²
Foot print	1119.74m ²
Coverage percentage	0.9%

OWNER'S SIGNATURE
[Signature]

PROFESSIONAL ARCHITECT
TRACEY MILLS BRINK
18 Jun 2024

ARCHITECT'S SIGNATURE
Tracey Mills Brink
PR/ARCH 5765

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