

Draft BAR: Appendix A – Site Plans

Ref No: SL2223-00003

29 September 2023

Jan Bester
11 Saffery Street
HUMANSDORP
6306

E-Mail: janbester@mapinc.co.za

Sir / Madam

SUBJECT: APPLICATION FOR REMOVAL OF RESTRICTIVE TITLE DEED CONDITIONS AND PERMANENT DEPARTURE TO RELAX BUILDING LINES: ERF 1220, SEA VISTA

I refer to your application dated 14 July 2021.

On 29 August 2023, the Municipal Planning Tribunal resolved as follows:

Reasons for Decision:

1. There were no objections received from affected property owners or any member of the public against the application.
2. The restrictions as set out in the Kouga Land Use Scheme, will still be applicable. Therefore any additions proposed, the applicant will still be required to submit building plans for consideration by the municipality.
3. The proposal will not have any impact on municipal services.

Resolved 29 August 2023:

- i) That the application for the removal of the following Title Deed Conditions: Conditions 6(b), 6(b)i), 6(b)(ii), pertaining to Erf 1220, Sea Vista (St Francis Bay).
- ii) The Permanent Departure: Relaxation of the side building line on the North-Eastern side (common to Erf 946 Public Place) from 1.5m to 0m for the construction of a pool in terms of Section 76, **BE APPROVED** in terms of Section 108 of the Spatial Planning and Land Use Management By-Law: Kouga Municipality, 2016.
- iii) That the approval contemplated in a) and b) above be subject to the conditions below as imposed in terms of Section 54 of the said By-Law.

Conditions of Approval

- a) The approval applies to the Removal of Restrictive Title Deed Conditions in question and shall not be construed as authority to depart from any other legal prescriptions or requirements from the Council.

- b) That the applicant complies with the requirements of the Registrar of Deeds, as imposed under Section 70 of the Spatial Planning and Land Use Management By-Law: Kouga Municipality, 2016.
- c) That the Kouga Land Use Scheme Regulations, be applicable to Erf 1220, Sea Vista (St Francis Bay).
- d) That the building plan be submitted and considered for approval by the municipality.

You are hereby informed of your right to the Appeal Authority in terms of Section 136 of the Spatial Planning and Land Use Management By-Law: Kouga Municipality, 2016. If you intend to appeal, the appeal form, which can be obtained at the Kouga Municipality Offices, must be completed, and should be directed to the Appeal Authority and received by the Municipal Manager at PO Box 21, Jeffreys Bay, 6330 or faxed to 042 200 8606, or emailed to jreed@kouga.gov.za or hand delivered to the Office of the Municipal Manager, 33 Da Gama Road within 21 days of date of notification of this decision.

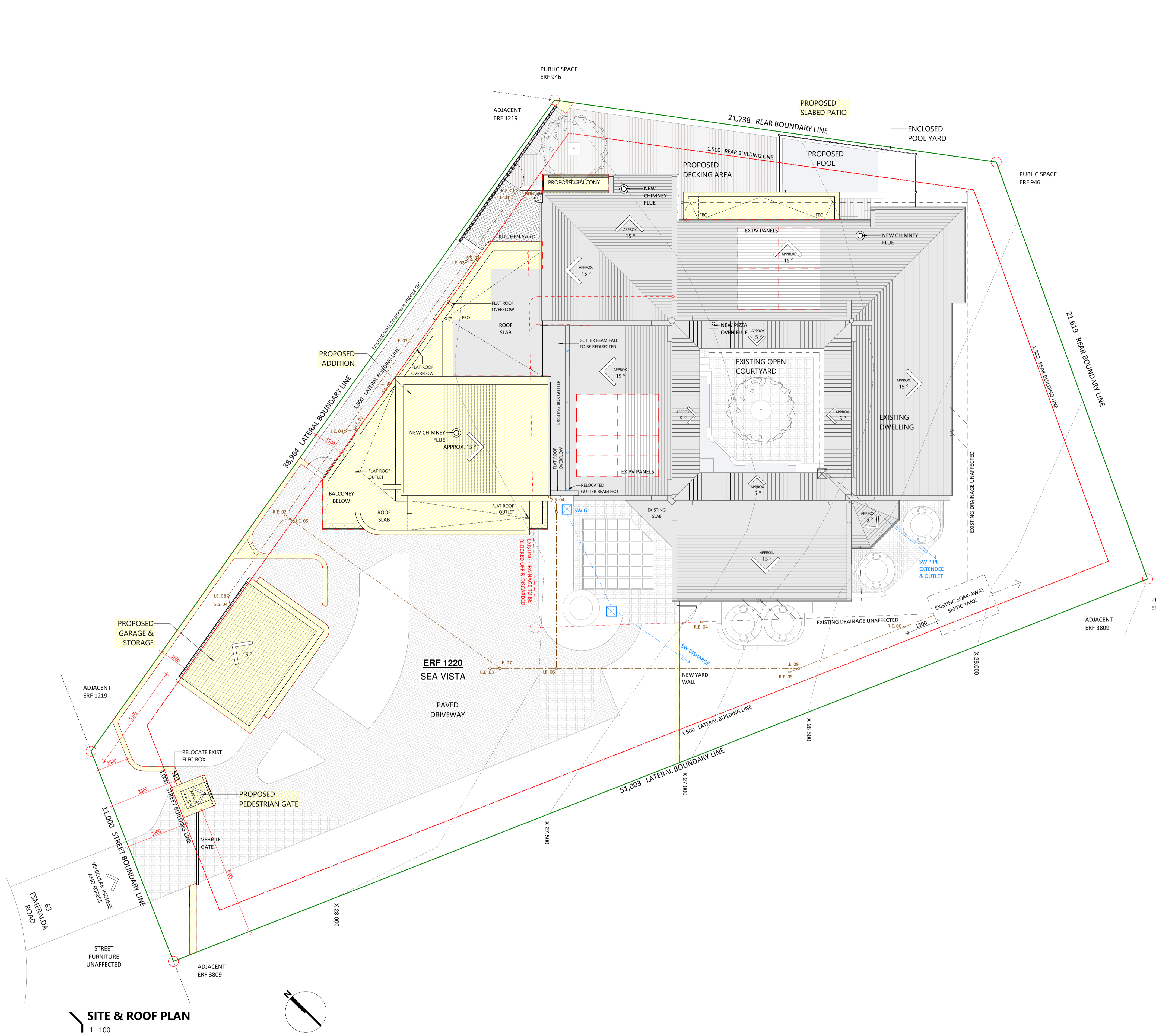
The appeal must be in accordance with Section 137 of the Spatial Planning and Land Use Management By-Law: Kouga Municipality, 2016.

Yours faithfully



MS L. OPPERMAN
ACTING DIRECTOR: PLANNING DEVELOPMENT & TOURISM

Refer: Chuma Makiwane (Admin Officer: Spatial Planning) Tel 042-2002200



SITE LOCALITY PLAN
1 : 2000

- SANS NOTES**
- PART B - STRUCTURAL DESIGN:**
- ALL STRUCTURAL DESIGN ELEMENTS, COMPONENTS AND MATERIALS TO COMPLY WITH SANS 10400 PART B AND BE CERTIFIED BY A PROFESSIONAL STRUCTURAL ENGINEER OR APPROVED COMPETENT PERSON.
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- PART N - GLAZING:**
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 - INSTALLATION TO BE INSTALLED, CHECKED AND CERTIFIED BY A COMPETENT GLAZING SPECIALIST. SPECIALIST TO ISSUE GLAZING COMPLIANCE CERTIFICATE AFTER INSTALLATION.
 - ALL GLAZING TO BE IN STRICT ACCORDANCE WITH SAGA REGULATIONS AND VISIBLY ILLUSTRATE THE APPROPRIATE MARK TO CONFIRM TYPE OF GLASS USED.
- PART K - WALLS:**
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 - ALL WATERPROOFING AS PER SPECIALIST AND IN STRICT ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
- PART L - ROOFS:**
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 - COMPLETE RAINWATER AND GUTTER SYSTEM TO BE DESIGNED BY AN APPROVED COMPETENT PERSON.
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 - HOT WATER CYLINDER INSTALLATION TO BE IN ACCORDANCE WITH SANS 10254 OF 2012 AND SANS 204 XA TO BE CONSIDERED.
 - HOT WATER SERVICES TO COMPLY WITH SANS 204: 4.5.2
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- ISOVER SNAP-ON HIGH NON-COMBUSTIBLE LIGHTWEIGHT GLASSWOOL REINFORCED PIPE INSULATION WITH PLAIN FACING, NOMINAL DENSITY 75KG/M³, IN 100mm SNAP-ON PIPE SECTIONS, FITTED TO PIPES AND FITTINGS, ALL AS PER MANUFACTURERS RECOMMENDATIONS

PROPERTY CONTROLS & AREAS SCHEDULE

SITE PARAMETERS	
ERF NUMBER	1220
ALLOTMENT AREA	SEA VISTA
ERF AREA	1210m ²
ZONING	RESIDENTIAL ZONE 1
CLASSIFICATION	H4: DWELLING HOUSE
SITE CONTROLS	
STREET BUILDING LINE	PERMITTED : 3.0m PROVIDED ON PLAN : 3.0m
LATERAL BUILDING LINE	PERMITTED : 1.5m PROVIDED ON PLAN : 1.5m
REAR BUILDING LINE	PERMITTED : 1.5m PROVIDED ON PLAN : 1.5m
HEIGHT	PERMITTED : 2 STORIES / 8.5m PROVIDED ON PLAN : 2 STORIES / 8.5m
SERVITUDES	NOT APPLICABLE
DEPARTURES	NOT APPLICABLE

BUILDING AREAS SCHEDULE				
AREA:	Existing	Reallocate	New	TOTAL
GS - MAIN HOUSE	197.1	+60.0	9.1	266.2
15 - MAIN HOUSE	40.3	.	77.6	117.9
COVERED ENTRY	39.5	.	12.5	52.0
COVERED PATIO	.	.	10.9	10.9
GARAGE & STORE AREAS	72.6	-60.0	71.3	83.9
GARAGE STORE	.	.	26.9	26.9
.
.
TOTAL AREA: m²	349.5	.	208.3	557.8
Coverage Area:	311.0	.	117.6	428.6
Coverage %:	25.7 %	0.0 %	9.3 %	35.4 %
Coverage % Permissible:	.	.	.	50.0 %
New Floor Area for Submission:				208.3m²

GENERAL NOTES

SIGNATURES

OWNER - MR. S.R. & MRS. E. WELLS
ARCHITECT - BRAD WALE (SACAP - PRARCH 20692)

SIGNATURE: [Signature] DATE: 2024 02 12
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REVISION SCHEDULE

REV.	DESCRIPTION:	DATE:
A	LA SUBMISSION	2024 02 12

HOUSE WELLS

TAC
TAG ARCHITECTS

CONTACT: 072 661 3469 | 083 374 0973 | EMAIL: INFO@TAGARCHITECTS.CO.ZA
PO BOX 5037 | WALKER | 6065 | PORT ELIZABETH

PROJECT TITLE:
HOUSE WELLS
PROPOSED ALTERATIONS & ADDITIONS

CLIENT DETAILS:
MR. S.R. & MRS. E. WELLS

PROPERTY DETAILS:
ERF 1220, SEA VISTA
63 ESMERALDA ROAD, SEA VISTA,
ST FRANCIS BAY, EASTERN CAPE

PROJECT STATUS: STAGE 4.1
DISCIPLINE: ARCHITECTURE
SCALE: As indicated

DESIGNED: BW
DRAWN: DV
CHECKED: BW
SIGNED: [Signature]

ISSUED FOR: LOCAL AUTH SUBMISSION

PROJECT STATUS: 2024 02 12
SCALE: As indicated

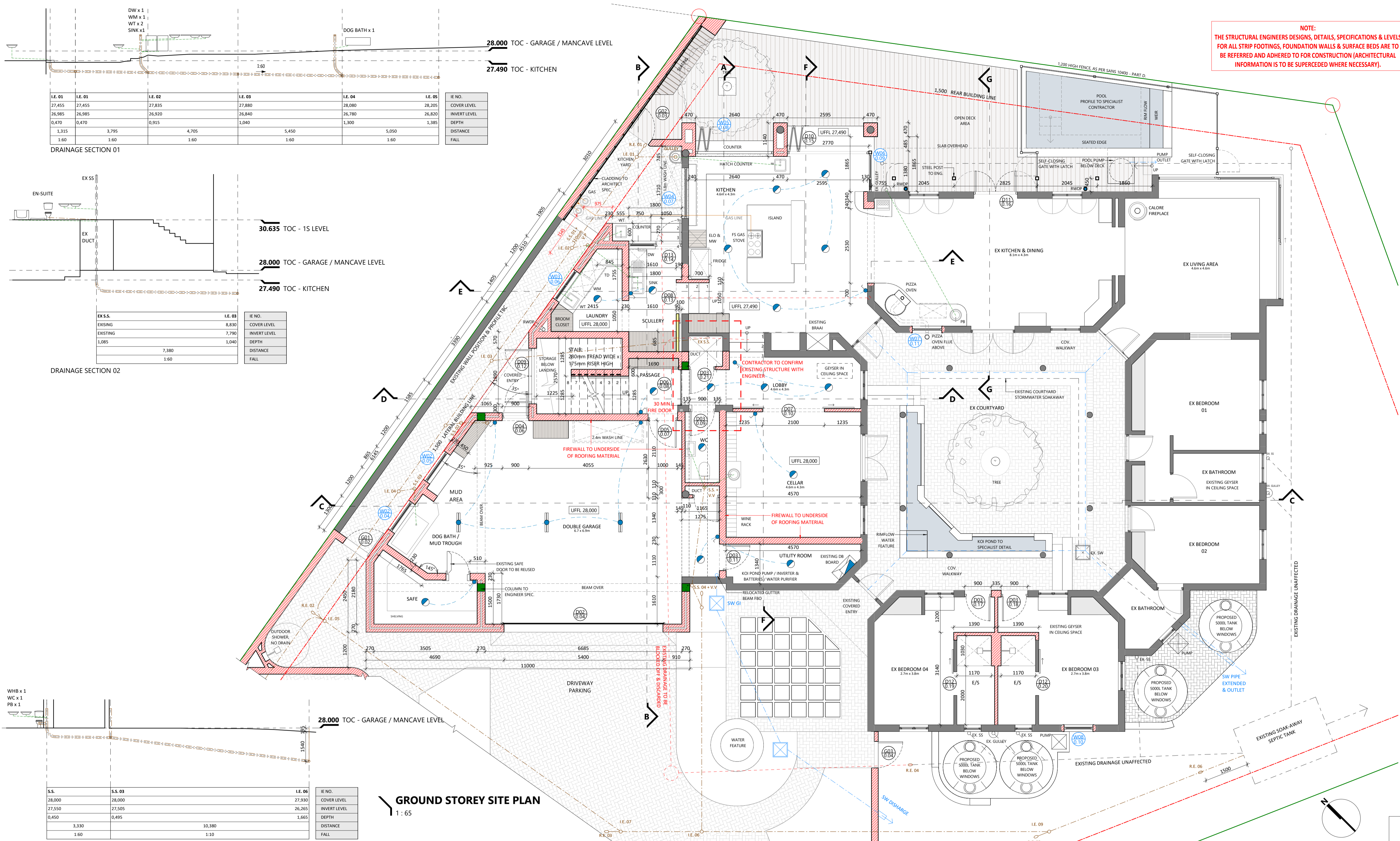
PROJECT #: T069
DWG #: 9000-01

DRAWING TITLE: SITE, LOCALITY PLAN & DRAINAGE SECTION

REV #: A

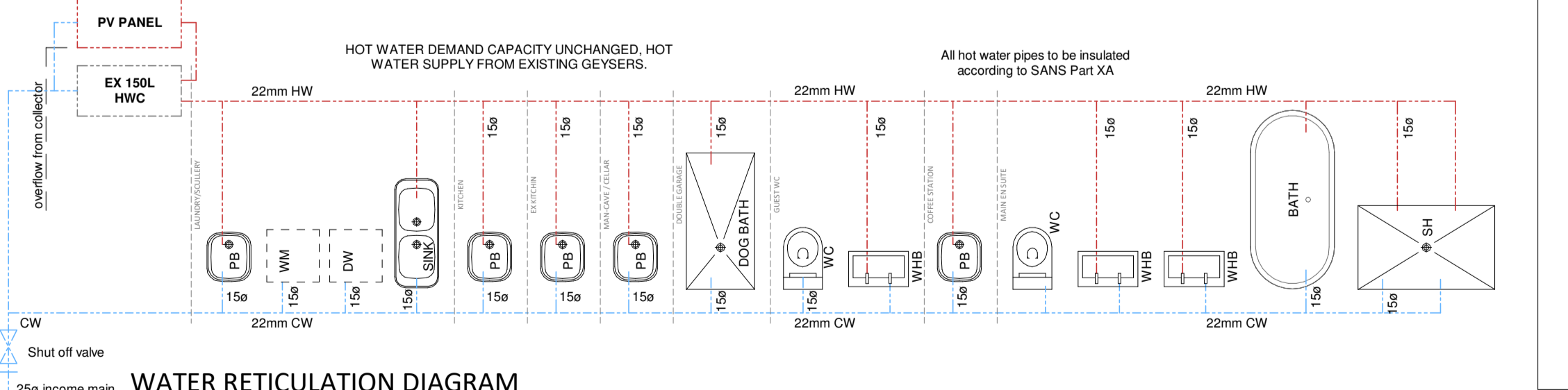
KOUGA DIGITAL STAMP

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HOUSE WELLS



PROJECT TITLE:
HOUSE WELLS
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PROJECT STATUS:
STAGE 4.1

DISCIPLINE:
ARCHITECTURE

DESIGNED: BW **DRAWN:** DV **CHECKED:** BW **SIGNED:** *[Signature]*

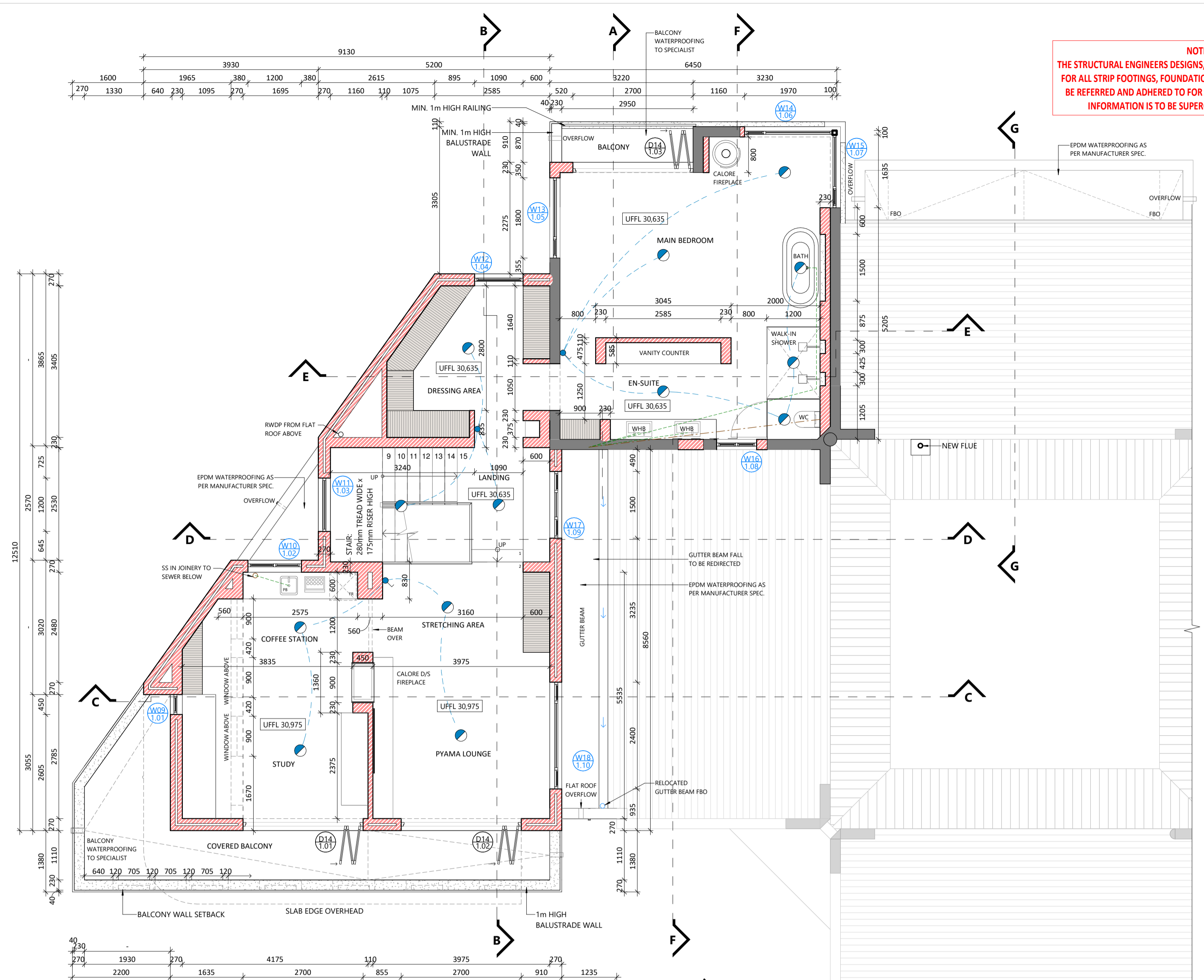
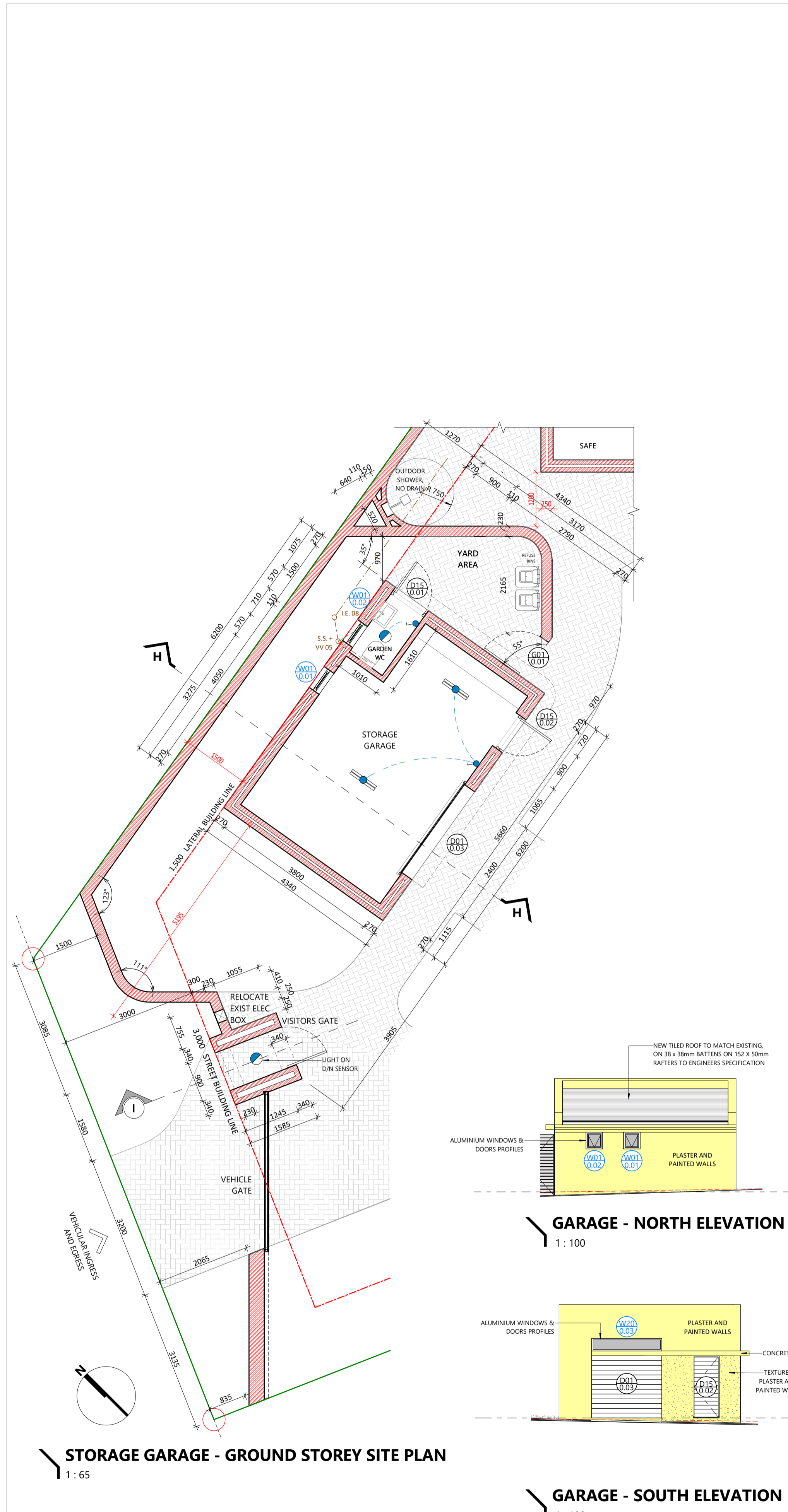
ISSUED FOR: LOCAL AUTH SUBMISSION

DRAWING TITLE:
GROUND STOREY DETAIL,
DIMENTION PLAN &
DRAINAGE

PROJ #: T069 **REV #:** A

DWG #: 9000-03

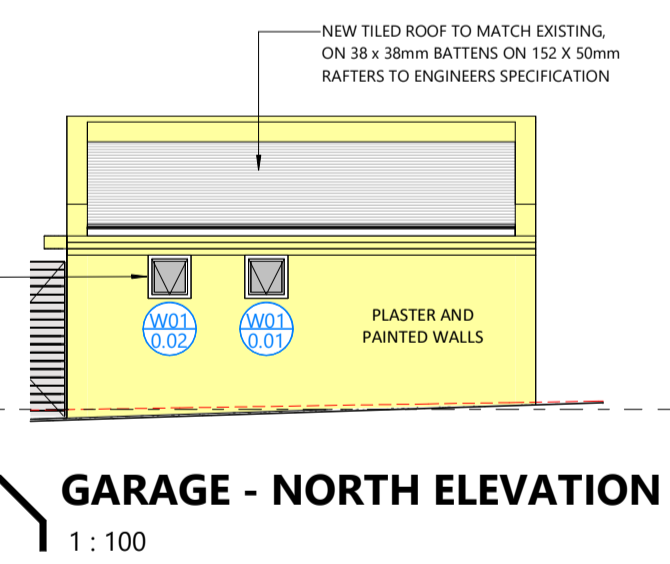
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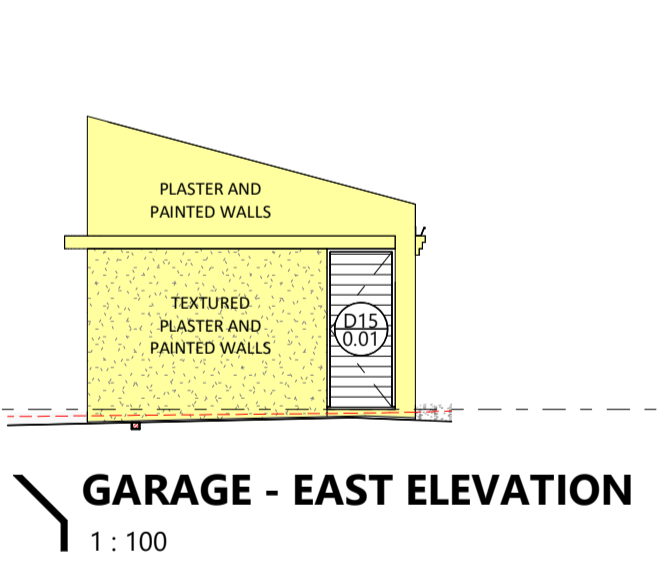
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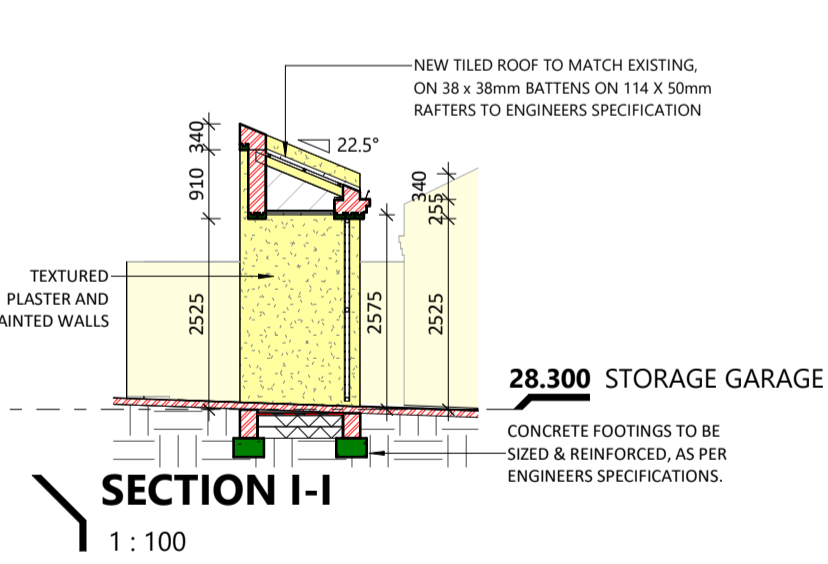
FIRST STOREY PLAN
 1 : 65



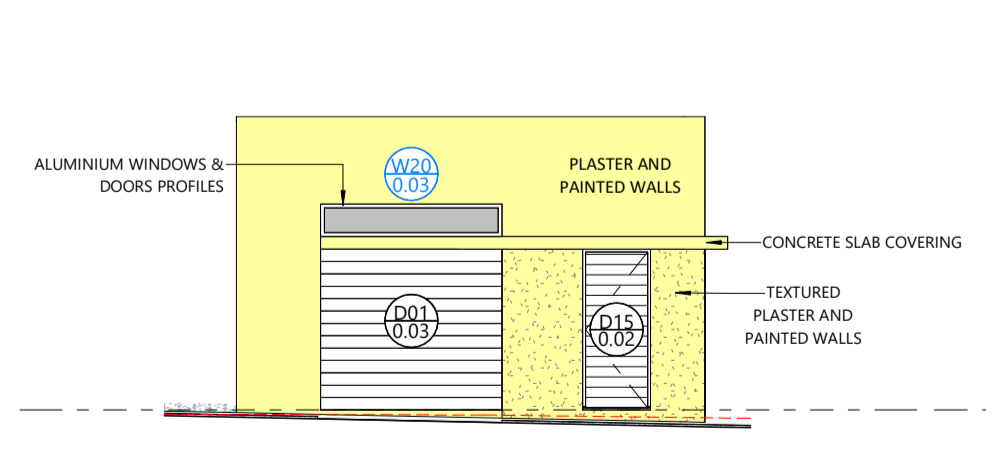
GARAGE - NORTH ELEVATION
 1 : 100



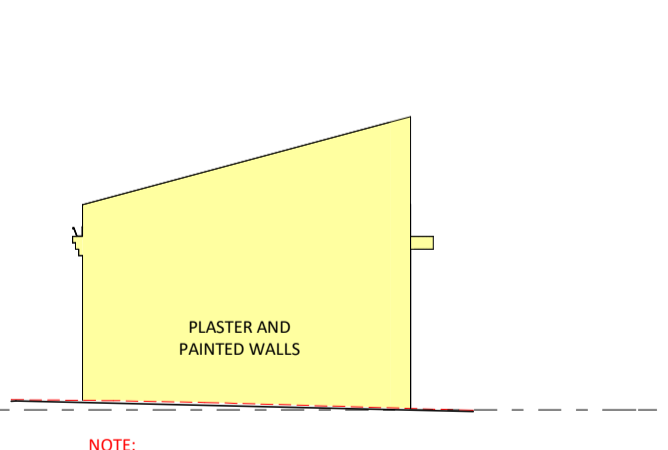
GARAGE - EAST ELEVATION
 1 : 100



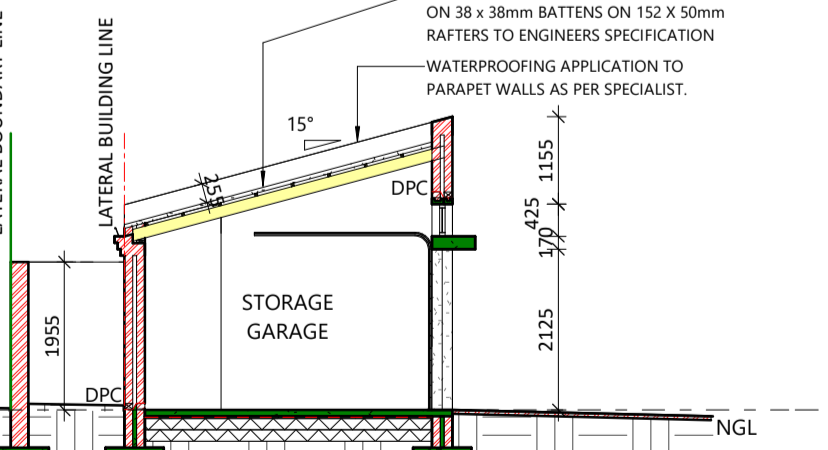
SECTION I-I
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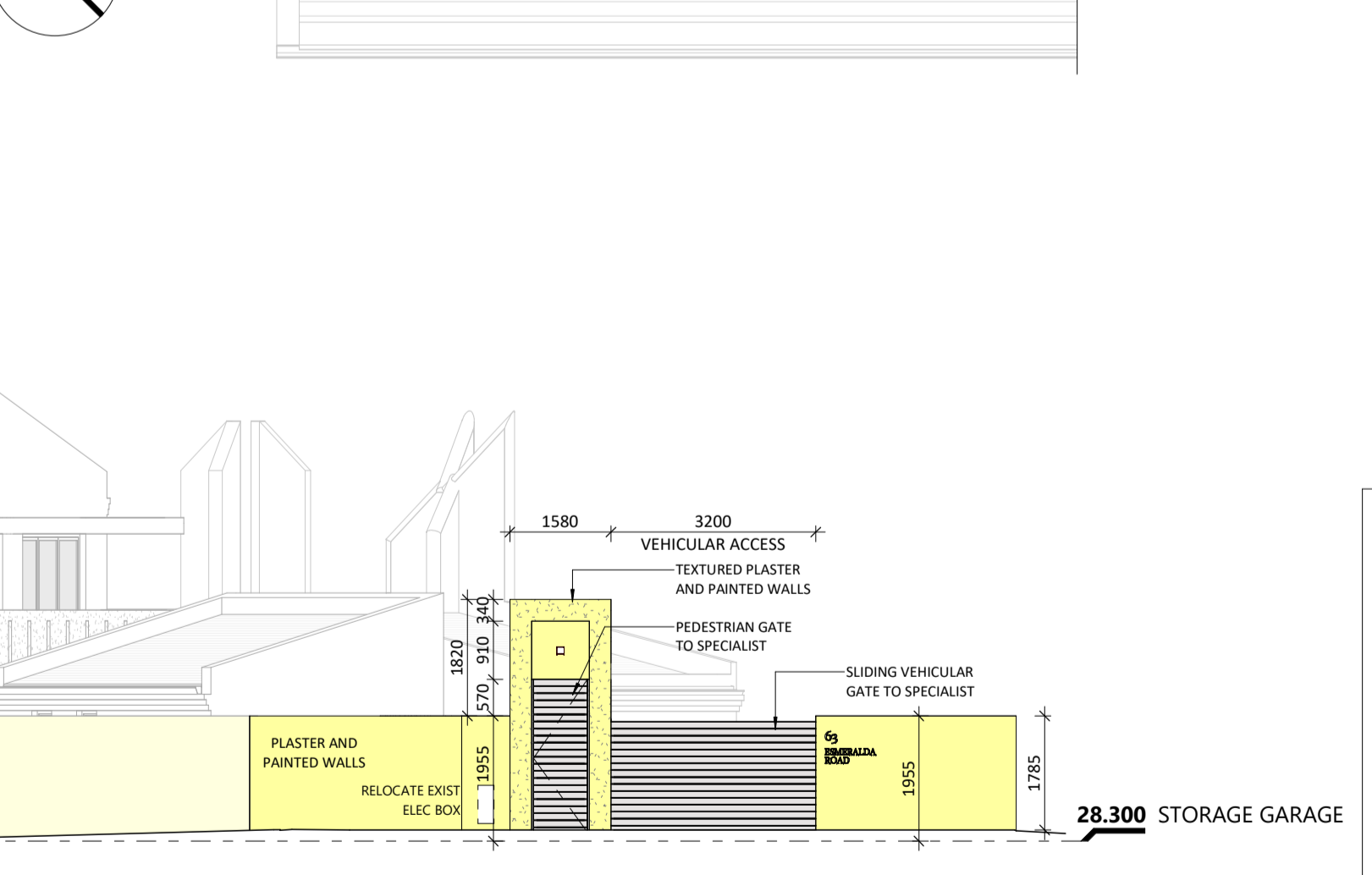
GARAGE - SOUTH ELEVATION
 1 : 100



GARAGE - WEST ELEVATION
 1 : 100



SECTION H-H
 1 : 100



ENTRANCE GATE - ELEVATION
 1 : 100

LIGHTING LEGEND

	CEILING MOUNTED LIGHT - INTERNAL FITTING
	FLOURESCENT UTILITY LIGHT - INTERNAL FITTING
	LIGHT SWITCH - STANDARD FITTING (1200mm - FFL)
	LIGHT / SWITCH CIRCUIT

GENERAL NOTES

SIGNATURES

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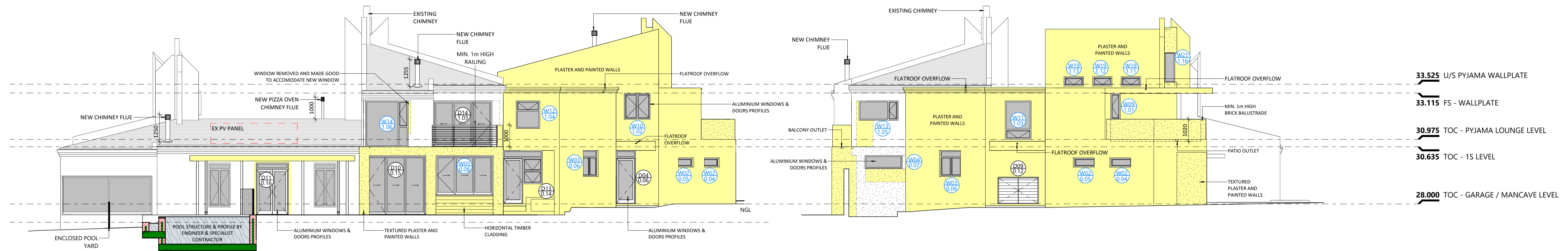
HOUSE WELLS



PROJECT TITLE: HOUSE WELLS PROPOSED ALTERATIONS & ADDITIONS	PROJECT STATUS: STAGE 4.1	ISSUE DATE: 2024 02 12	DRAWING TITLE: FIRST STOREY DETAIL, DIMENTION PLAN & DRAINAGE
CLIENT DETAILS: MR. S.R. & MRS. E. WELLS	DISCIPLINE: ARCHITECTURE	SCALE: As indicated	PROJ #: T069
PROPERTY DETAILS: ERF 1220, SEA VISTA 63 ESMERALDA ROAD, SEA VISTA, ST FRANCIS BAY, EASTERN CAPE	DESIGNED: BW	CHECKED: BW	DWG #: 9000-04
	ISSUED FOR: LOCAL AUTH SUBMISSION		REV #: A

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- PART N - GLAZING:**
 - ALL GLAZING TO COMPLY WITH SANS 10400 PART N.
 - REFER TO ENERGY EFFICIENCY REPORT FOR GLAZING SPECIFICATION REQUIREMENTS.
 - ALL ALUMINIUM GLAZED DOORS, WINDOWS, CURTAIN WALLS AND LOUVERED DOORS AND PANELS THAT ARE PURPOSE OR CUSTOM MADE ARE TO BE MANUFACTURED AS PER MANUFACTURERS' SPECIFICATIONS ALL IN ACCORDANCE WITH AAAMSA, SAGA, NBR AND SABS REGULATIONS.
 - INSTALLATION TO BE INSTALLED, CHECKED AND CERTIFIED BY A COMPETENT GLAZING SPECIALIST. SPECIALIST TO ISSUE GLAZING COMPLIANCE CERTIFICATE AFTER INSTALLATION.
 - ALL GLAZING TO BE IN STRICT ACCORDANCE WITH SAGA REGULATIONS AND VISIBLY ILLUSTRATE THE APPROPRIATE MARK TO CONFIRM TYPE OF GLASS USED.
- PART K - WALLS:**
 - ALL WALLS TO COMPLY WITH SANS 10400 PART K.
 - ALL WATERPROOFING AS PER SPECIALIST AND IN STRICT ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
- PART L - ROOFS:**
 - ALL ROOFS TO COMPLY WITH SANS 10400 PART L.
 - COMPLETE ROOF STRUCTURE TO BE DESIGNED BY PROFESSIONAL ENGINEER OR APPROVED COMPETENT PERSON.
 - COMPLETE RAINWATER AND GUTTER SYSTEM TO BE DESIGNED BY AN APPROVED COMPETENT PERSON.
- PART XA - ENERGY EFFICIENCY:**
 - ENERGY EFFICIENCY REQUIREMENTS TO COMPLY WITH SANS 10400 PART XA.
 - THE CONTRACTOR IS TO REFER TO THE ATTACHED ENERGY EFFICIENCY REPORT AND THE SPECIFICATIONS / REQUIREMENTS CONTAINED THEREIN TO BE USED IN CONJUNCTION WITH THE APPROVED BUILDING PLANS.
 - SHOULD THE REPORT NOT BE ATTACHED HERETO, THE CONTRACTOR IS TO CONTACT THE ARCHITECT FOR A COPY FOR REFERENCE PRIOR TO THE PROCUREMENT OF MATERIALS AND/OR THE COMMENCEMENT OF CONSTRUCTION.
 - THE CONTRACTOR MAY PROPOSE ALTERNATIVE MATERIALS & SPECIFICATIONS TO ACHIEVE OR IMPROVE THE OVERALL ENERGY EFFICIENCY OF THE DESIGN THROUGH CONSULTATION WITH THE ARCHITECT.
- GENERAL WATER RETICULATION NOTES:**
 - WET SERVICES:**
 - THE INSTALLATION TO BE DONE BY A PIBB REGISTERED AND LICENSED PLUMBING CONTRACTOR.
 - THE WATER SUPPLY RETICULATION SYSTEM TO COMPLY WITH SANS OR TO BE IN ACCORDANCE WITH SANS 10252 PART 1.
 - HOT WATER CYLINDER INSTALLATION TO BE IN ACCORDANCE WITH SANS 10254 OF 2012 AND SANS 204 XA TO BE CONSIDERED.
 - HOT WATER SERVICES TO COMPLY WITH SANS 204: 4.5.2
 - ALL MATERIALS USED SHALL BE SABS AS REQUIRED BY SANS 10252 PART 1.
 - ALL PLUMBING & DRAINAGE TO MEET DEEMED TO SATISFY RULES AS LAID OUT IN THE NATIONAL BUILDING REGULATIONS SANS 10400.
 - HOT WATER PIPE RECOMMENDED INSULATION:**
 - ISOVER SNAP-ON RIGID NON-COMBUSTIBLE LIGHTWEIGHT GLASSWOOL REINFORCED PIPE INSULATION WITH PLAIN FACING, NOMINAL DENSITY 75KG/M³, IN 100mm SNAP-ON PIPE SECTIONS, FITTED TO PIPES AND FITTINGS, ALL AS PER MANUFACTURERS RECOMMENDATIONS

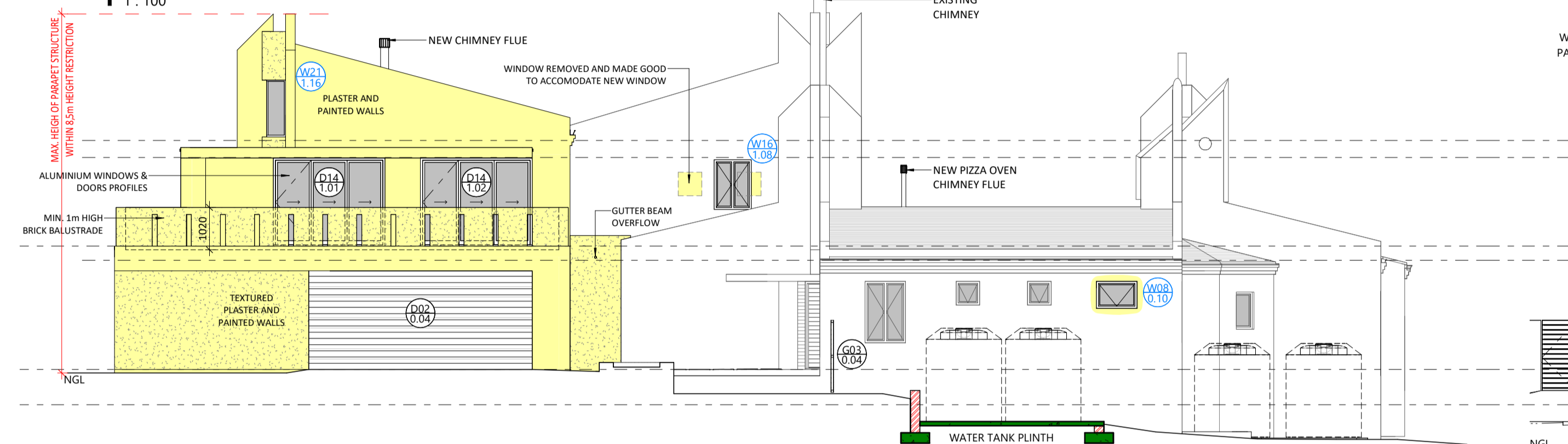


NORTH-EAST ELEVATION

NORTH-WEST ELEVATION

1 : 100

1 : 100

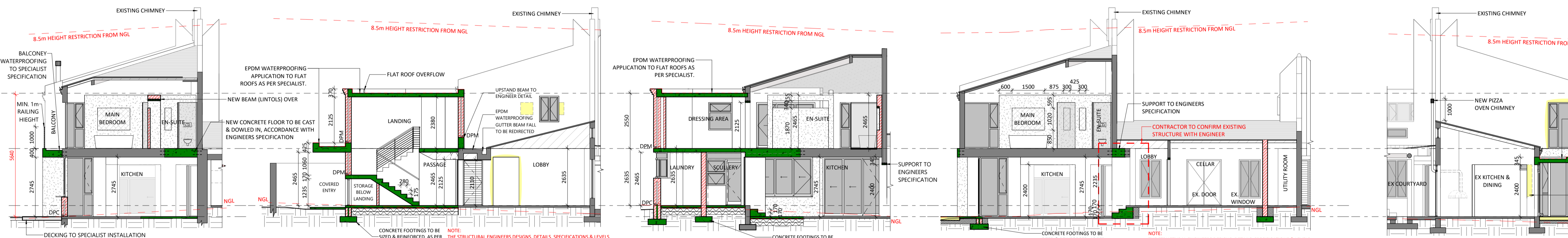


SOUTH-WEST ELEVATION

SOUTH-EAST ELEVATION

1 : 100

1 : 100



SECTION A-A

SECTION D-D

SECTION E-E

SECTION F-F

SECTION G-G

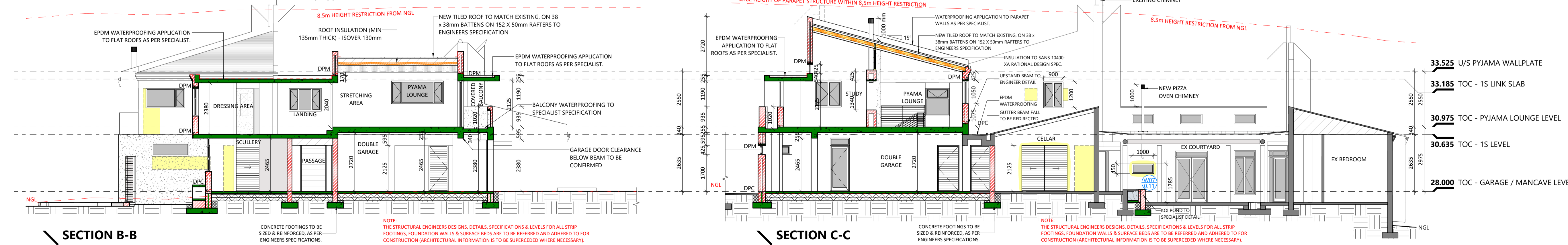
1 : 100

1 : 100

1 : 100

1 : 100

1 : 100



SECTION B-B

SECTION C-C

1 : 100

1 : 100

GENERAL NOTES

SIGNATURES

OWNER - MR. S.R. & MRS. E. WELLS

ARCHITECT - BRAD WALE (SACAP - PRARCH 20692)

SIGNATURE: *[Signature]* DATE: 2024 02 12

SIGNATURE: *[Signature]* DATE: 2024 02 12

REVISION SCHEDULE

REV.	DESCRIPTION:	DATE:
A	LA SUBMISSION	2024 02 12

HOUSE WELLS



PROJECT TITLE:
HOUSE WELLS
PROPOSED ALTERATIONS & ADDITIONS

CLIENT DETAILS:
MR. S.R. & MRS. E. WELLS

PROPERTY DETAILS:
ERF 1220, SEA VISTA
63 ESMERALDA ROAD, SEA VISTA,
ST FRANCIS BAY, EASTERN CAPE

PROJECT STATUS: STAGE 4.1

ISSUE DATE: 2024 02 12

DISCIPLINE: ARCHITECTURE

SCALE: As indicated

DESIGNED: BW

DRAWN: DV

CHECKED: BW

SIGNED: *[Signature]*

ISSUED FOR: LOCAL AUTH SUBMISSION

DRAWING TITLE: ELEVATIONS & SECTIONS

PROJ # T069

DWG # 9000-05

REV # A

KOUGA DIGITAL STAMP